



SUBDIVISION REPORT - CONCEPT/USE ON REVIEW

▶ **FILE #:** 6-SA-20-C **AGENDA ITEM #:** 21
6-A-20-UR **AGENDA DATE:** 8/13/2020

POSTPONEMENT(S): 6/11/2020

▶ **SUBDIVISION:** **WOODBURY CROSSING**
▶ **APPLICANT/DEVELOPER:** **WC WOODBURY CROSSING LIMITED PARTNERSHIP**
OWNER(S): Peoples Bank of the South

TAX IDENTIFICATION: 21 00203 [View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 7605 Twin Oak Ln.

▶ **LOCATION:** **Southeast terminus of Edwards Place Blvd., southeast of Thompson School Rd.**

SECTOR PLAN: Northeast County

GROWTH POLICY PLAN: Planned Growth Area

WATERSHED: Beaver Creek

▶ **APPROXIMATE ACREAGE:** **30.748 acres**

▶ **ZONING:** **PR (Planned Residential)**

▶ **EXISTING LAND USE:** **Vacant land & Single family residential**

▶ **PROPOSED USE:** **Multi-dwelling development**

SURROUNDING LAND USE AND ZONING: The subject site is located within the Edwards Place subdivision and general area has been transitioning from a rural area to a residential area with small, single-family lots. Rezoning to PR began in the mid-1990s, with PR developments being built through the early 2000s. Gibbs Elementary, Middle, and High Schools are nearby to the south off of Tazewell Pike.

▶ **NUMBER OF LOTS:** **1**

SURVEYOR/ENGINEER: Charles Garvick / Chadan Engineering, Inc.

ACCESSIBILITY: Access is via Edwards Place Blvd, a local street with 26' of pavement width within 50' of right-of-way, and via Lawgiver Circle, a local street with 26' of pavement width within 50' of right-of-way.

▶ **SUBDIVISION VARIANCES REQUIRED:** **VARIANCES REQUIRING PLANNING COMMISSION APPROVAL:**
1) Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at STA 0+49.
2) Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at STA 1+48.3.

ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING COMMISSION APPROVAL:

1) Reduction of horizontal curve radius on Lawgiver Circle from 250 feet to 100 feet at STA 0+26.

STAFF RECOMMENDATION:

- ▶ **APPROVE** variances 1-2 and the Alternative Design Standard based on the recommendations of the Knox County Department of Engineering and Public Works and because the site conditions restrict compliance with the Subdivision Regulations and the proposed variances and alternative design standards will not create a traffic hazard.

APPROVE the Concept Plan subject to 5 conditions.

- 1) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 2) Meeting all applicable requirements of Knox County Engineering and Public Works.
- 3) Installation of sidewalks into the cul-de-sacs as identified on the development plan.
- 4) Providing a 50' wide sidewalk easement from the Lawgiver Circle cul-de-sac to the property boundary to the east, along the southern boundary of Lot 30, Edwards Place Unit 4. This easement may be reduced in width with the approval of Knox County Engineering and Public Works once the final alignment of the sidewalk is determined. If this sidewalk easement is approved, the proposed sidewalk easement shown on the Concept Plan that extends south from Lawgiver Circle to Beaver Creek can be eliminated.
- 5) A final plat application based on this concept plan will not be accepted for review until certification of design plan approval has been submitted to Planning staff.

- ▶ **APPROVE** the development plan for up to 80 multi-dwelling (apartment) units as shown, subject to 5 conditions.

- 1) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 3) Installation of sidewalks for the multi-dwelling development as identified on the development plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA).
- 4) Installing all landscaping for the apartment development, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
- 5) Providing a 60-foot greenway easement along the southeastern side of Beaver Creek, as shown, or as otherwise required by Knox County Parks and Recreation.

With the conditions noted, this plan meets the requirements for approval in the PR District, and the other criteria for approval of a use on review.

COMMENTS:

Summary

Construction of an 80-unit multi-dwelling (apartment) development located at the terminus of Edwards Place Boulevard on an unbuilt portion of the Edwards Place subdivision (approximately 30.75 acres). The proposal also includes the installation of cul-de-sacs, with sidewalk extensions, at the terminus of Edwards Place Boulevard and Lawgiver Circle. There are three, 3-story apartment buildings clad with brick foundations and vinyl siding for the majority of the facades. There are shutters on the elevations facing the internal parking lot and the north elevations of the two buildings closest to the houses. A dense evergreen landscape screening is proposed along the north property boundary to buffer the development to the adjacent houses. A sidewalk will be extended from the apartment development to the public sidewalk on Edwards Place Boulevard. A greenway easement is provided on the south side of Beaver Creek and a 50' sidewalk easement is recommended from the Lawgiver Circle cul-de-sac east to the property boundary, on the south side of Lot 30. The property to the east had a Concept Plan approved in 2017 (Twin Oak Landing – 4-SA-17-C) with a 10' sidewalk easement that extended to the Edwards Place boundary just south of the recommended 50' easement. The 2017 Concept Plan is now expired so the easement on the adjacent property will need to be reestablished when that property is developed sometime in the future. The recommended 50' easement on the subject property is recommended so there is some room to adjust the sidewalk to and meet ADA standards once the layout and grades of the adjacent property are known. If the subject property proposes lots around the Lawgiver Circle cul-de-sac, the width of the sidewalk easement can be reduced with the approval of Knox County Engineering and Public Works so that a sidewalk connection to the adjacent property is still feasible.

Background

The Edwards Place subdivision was originally approved in 2007 (2-SI-07-C / 2-K-07-UR) with 187 single family residential lots. The unbuilt portion of the subdivision was reapproved in 2013 (11-SA-13-C) with the same layout and number of lots. Lawgiver Circle was intended to wrap around Forest Willow Lane and connect to the

southern portion of Edwards Place Boulevard, and there was to be a street that extended to the south side of Beaver Creek with lots in the hillside area adjacent to the Gibbs school property. This forested hillside area is now intended to remain undisturbed.

Sidewalks were required throughout the subdivision and there was a requirement to make a pedestrian connection to the school property, if desired by Knox County Schools. Because the number of lots within the subdivision, the planning commission also required an amenity area that was to be located on the south side of Beaver Creek, near the terminus of Twin Oak Lane. The amenity was never constructed and the location is now part of the subject property. The 2007 Use on Review approval also had a requirement to connect to the terminus of Twin Oak Lane.

The installation of the required sidewalks began with the construction of houses sometime between 2016 and 2018. Most of the sidewalks were installed in areas with the least amount of vehicle traffic. Edwards Place Boulevard will be the most heavily traveled road in the neighborhood and it is currently without a sidewalk for the majority of its length.

The 2007 and 2013 Concept Plan approvals had a condition that allowed Knox County Engineering and Public Works to require traffic calming to be installed. This could still be an option going forward to help slow down traffic, particularly on Edwards Place Boulevard.

Density

The PR (Planned Residential) zoning allows up to 4 dwelling units per acre (du/ac). The apartment development will have a density of 2.6 du/ac. The existing neighborhood consists of 95 lots on approximately 22.5 acres (4.22 du/ac). The combined density for the Edwards Place subdivision and the Woodbury Crossing apartments is approximately 3.3 du/ac (175 units on 53.25 acres). An additional 38 dwelling units could be constructed based on the current zoning of PR up to 4 du/ac. The Traffic Impact Study (TIS) states that if Lawgiver Circle is extended further toward Beaver Creek and the eastern end of the apartment development, an additional 22 lots could be created. If additional lots were proposed, a new Concept Plan and Use on Review approval would be required. The TIS took these additional lots into consideration to ensure the maximum amount of potential traffic was considered.

Proposal -- Concept Plan (Cul-de-sacs)

The Concept Plan is for the dedication of right-of-way and the installation of the cul-de-sacs at the end of Edwards Place Boulevard and Lawgiver Circle. The cul-de-sacs are necessary to provide the turnaround at the end of a public road required by the subdivision regulations. The sidewalks in the neighborhood will be extended into the cul-de-sacs.

The two vertical curve (K value) variances are for the crest curves on both ends of the proposed Edwards Place Boulevard cul-de-sac. The reduced K values at the end of the existing Edwards Place Boulevard roadway will allow less of the existing road to be regraded and have less impact on the adjacent properties. The other K value reduction is for the transition from the cul-de-sac to the apartment parking lot. The horizontal curve reduction is for cul-de-sac at the end of Lawgiver Circle and is a requested alternative design standard. The Knox County Department of Engineering and Public Works supports these requests. The requested K value of 12 meets AASHTO standards for streets with a 25 mph design speed and the 100' horizontal curve would be allowed if Lawgiver Circle was less than 1000' long (the existing road is approximately 1050' long before the cul-de-sac is added).

Proposal -- Use On Review (Multi-Dwelling Development Plan)

The Use on Review request is for an 80-unit multi-dwelling (apartment) development located between the existing single-family subdivision and Beaver Creek which runs through the middle of the subject property. The apartment development will be built approximately 10' lower than the houses to the north and a dense evergreen landscape screen is proposed along the north property line. There are three proposed buildings, with the two buildings closest to the existing houses having smaller footprints. The buildings will be 3 stories tall, with exception of 1/3 of the larger building on the south side of the parking lot being 2 stories tall in the middle. There will also be a 1 story clubhouse building with a swimming pool south of the entry driveway. The development does not propose a gated entry.

Access will be provided via Edwards Place Boulevard, a local street through the Edwards Place subdivision that connects to Thompson School Road, a major collector street. Edwards Place Boulevard is 26' wide with a

short segment of sidewalk on the southern end of the street. The apartment development will extend a sidewalk on their property to the public sidewalk at the cul-de-sac.

A 60' wide greenway easement is being provided on the southeast side of Beaver Creek at the request of Knox County Parks and Recreation. The Knox County Greenway Corridor Study proposes a greenway along Beaver Creek and the preferred route in this area runs through this property (see Exhibit A). The previous approvals for Edwards Place and the adjacent Twin Oak Landing subdivision (approved and not developed) had requirements to make a pedestrian connection to the Gibbs school property. In conversations with the school system, the preferred location for a pedestrian connection is the one approved in the Twin Oak Landing subdivision that was at the end of the Gibbs Elementary School driveway, just as the driveway forks and extends up the hill to Gibbs Middle School. The proposed 40' sidewalk easement from Edwards Place subdivision to the former Twin Oak Landing subdivision will allow a pedestrian connection to be established to the school property as the adjacent properties are developed.

Traffic Impact Study

The Woodbury Crossing Traffic Impact Study (CDM Smith, Revised May 2020) was prepared to address the impact of the proposed apartment development on Thompson School Road. The Edwards Place subdivision was previously studied in 2007 for 187 single-family lots. This study only analyzed impact of the development on the Edwards Place Boulevard and Thompson School Road intersection, it did not analyze the impact on the internal neighborhood streets. The conclusion of the TIS was that no improvements are necessary at the Thompson School Road intersection and that the apartment development must connect to the terminus of Edwards Place Boulevard in accordance with the requirements of Knoxville-Knox County Planning and Knox County Engineering and Public Works.

Open Space

The 2007 Use on Review approval had a condition of providing both active and passive recreational uses on a 1.63 acre common area. According to the staff report, this is because the subdivision was going to have more than 150 houses. The Edwards Place subdivision currently has 95 houses which is less than the threshold that would have warranted the inclusion of the amenity.

The apartment development does not propose to use the forested hillside area on southeast side of the creek. The applicant or property owner should discuss with Knox County Parks and Recreation about the potential of using this area as a park along the proposed greenway.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

- 1) The proposed development must work with the utility provider to ensure adequate service can be provided to the site and not adversely impact the Edwards Place subdivision that has experienced problems with their utilities.
- 2) The development will stay out of the Beaver Creek stream buffer and leave the forested hillside area on the southeast side of Beaver Creek undisturbed.
- 3) The development is providing a 60' greenway easement on the southeast side of Beaver Creek for future installation by Knox County and a recommended sidewalk easement for future construction from the Lawgiver Circle cul-de-sac to the adjacent property to the east.
- 4) No improvements to Thompson School Road are required for this development based on the anticipated number of vehicle trips and the existing condition of the road in this location.
- 5) The development will not establish the connected road system that the original Concept Plan approval intended which would have dispersed traffic somewhat. This proposal will concentrate more traffic on Edwards Place Boulevard than the original plan for the subdivision intended, however, improvements to this road are not recommended as a condition of approval.
- 6) Dense evergreen landscape screening is proposed along the north boundary line to provide a buffer for the single-family residential uses.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

- 1) With the stated conditions, the apartment development meets the standards for development within a PR (Planned Residential) Zone and all other requirements of the Zoning Ordinance.
- 2) The proposed apartment development is consistent with the general standards for uses permitted on

review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas because the Edwards Place subdivision was intended to have more house lots in this unbuilt portion of the neighborhood than is proposed by the apartment development and on average, single-family houses generate more vehicle trips per day than an apartment unit.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

- 1) The Northeast County Sector Plan designates this property for low density residential use with a maximum density of 5 du/ac. At a proposed density of 2.6 du/ac for the subject property and 3.3 du/ac for the overall development (including the Edwards Place subdivision), the proposed development is consistent with the Sector Plan.
- 2) The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

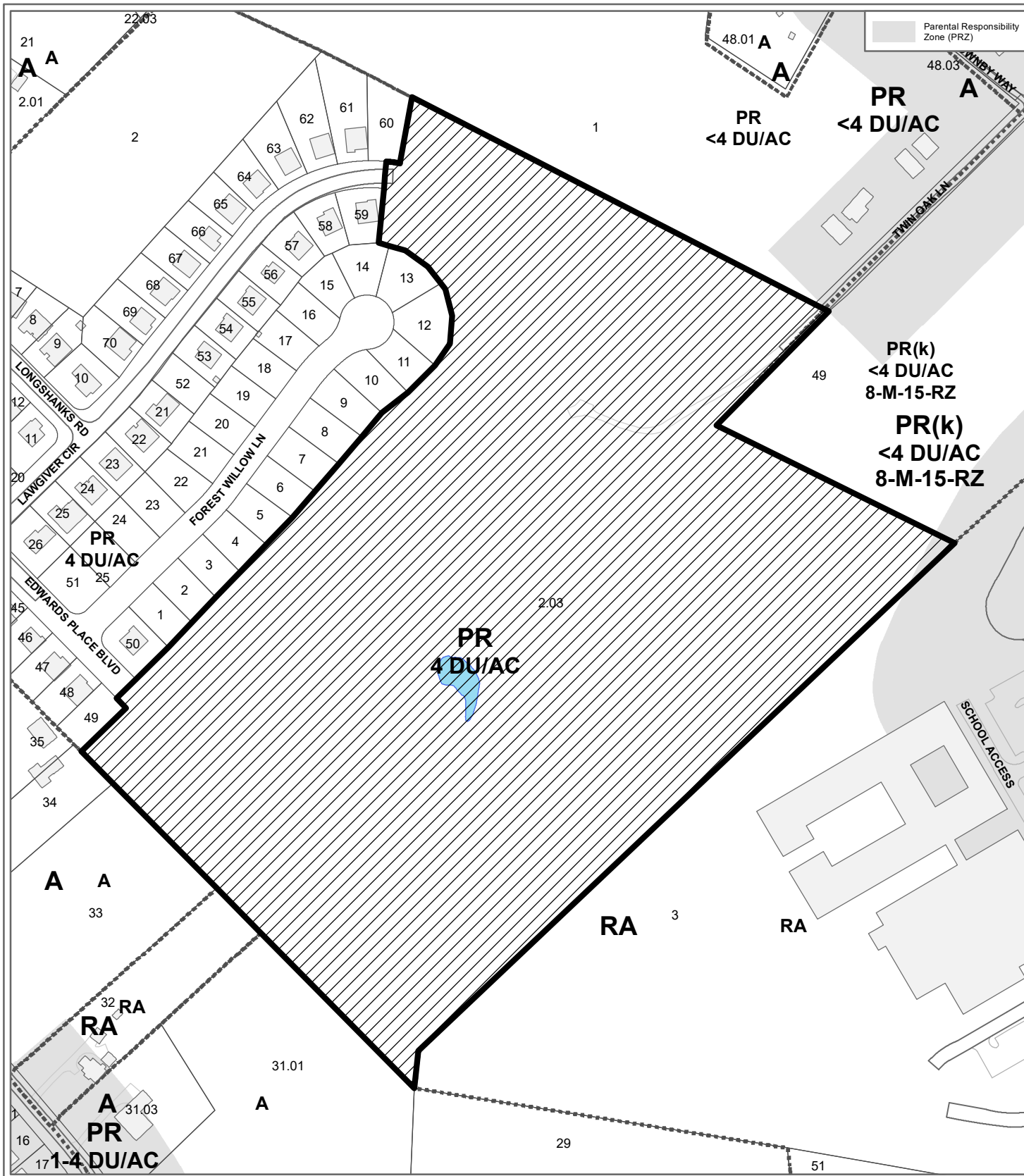
ESTIMATED STUDENT YIELD: 7 (public school children, grades K-12)

Schools affected by this proposal: Gibbs Elementary, Gibbs Middle, and Gibbs High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this concept plan request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed.

Knoxville-Knox County Planning Commission's approval or denial of this use on review request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**6-SA-20-C / 6-A-20-UR
CONCEPT PLAN/USE ON REVIEW**



Multi-dwelling development in PR (Planned Residential)

Original Print Date: 5/18/2020 Revised: Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: WC Woodbury Crossing Limited Partnership
Woodbury Crossing

Map No: 21
Jurisdiction: County



Site Development Plans For

Woodbury Crossing Apartments

Edwards Place Boulevard

Corryton, Knox County, Tennessee

FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Connor Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

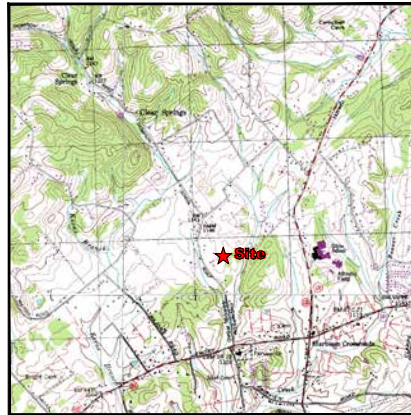
GENERAL NOTES

- The Contractor and Subcontractor shall be solely responsible for complying with all Federal, State and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees and property). It is also the sole responsibility of the Contractor and Subcontractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with this work.
- Existing utilities shown are from best available records and field investigation, and are not necessarily complete or exact. The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on these plans or not. The Contractor shall expose all utilities or construction prior to construction to verify the vertical and horizontal effect on the proposed construction, and shall make adjustments in elevations to provide sufficient clearance between the proposed and existing utilities. The Contractor shall call the utilities protection service (Dial 811) at least three (3) working days prior to work in the vicinity of their underground utilities.
- Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.
- The Contractor shall exercise extreme caution when working near existing utilities. It is the Contractor's responsibility to contact the appropriate utility agency prior to exposing the agency's utility. The Contractor is responsible for repairing any utility that may become damaged during the course of construction.
- Should the Contractor discover any discrepancies or conflicts with the existing and/or proposed information, the project Architect and Engineer shall be notified prior to continuing work.
- All proposed utility locations shall be provided by a state licensed surveyor, prior to installation. The Contractor shall adjust all structures to final grade as needed.
- The Contractor and/or Owner is responsible for coordinating with the electric, gas and communication companies regarding providing service to the development. Any information shown on plans shall be considered approximate only.
- Any property corner pins or permanent survey markings disturbed during construction shall be reset by a registered surveyor at the Contractor's expense.
- The tracking or spillage of mud, dirt or debris upon public roads is prohibited and any such occurrence shall be cleaned up immediately by the Contractor. If the Contractor fails to keep the work area clean of debris, or fails to clean mud or dirt, the local jurisdiction may take action and assess the Contractor for the costs that are incurred.
- No non-uber like vehicles shall be moved on public roads; exceptions may be granted where short distances and special circumstances are involved. Granting of exceptions shall be in writing.
- The Contractor shall exercise extreme caution when excavating in the vicinity of existing lines, taking all measures possible to protect and preserve them. The Contractor shall be governed by the provisions of his contract with the Owner.
- All field tie broken during excavation shall be replaced to its original condition or connected to the storm sewer system. The Contractor shall maintain a set of as-built documents for any tie encountered during construction.
- Proposed storm water management basins and conveyance system will be owned by the Owner. It will be the Owner's responsibility to properly maintain and respect the storm water management system.
- All traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the latest edition of the Tennessee Department of Transportation Manual for Traffic Control.
- All trenches shall be backfilled or securely plated during nonworking hours.
- Access to all adjoining properties shall be maintained at all times.
- All areas within the public right-of-way that are disturbed by this project shall be restored to original or better condition.
- At all utility crossings where the existing utility is exposed in the trench, the backfill shall consist of compacted granular material between the deeper and shallower pipe. Where proposed utilities or services cross proposed or existing pavement areas, backfill shall be compacted granular extending at least 3 feet beyond the back of curb or edge of pavement. Cost to be included in the price bid for related pipe.
- Clean water connections to sanitary sewer lines are strictly prohibited, this includes but not limited to: roof drains, foundation drains, yard drains, catch basins and trench drains.

- Curb inlets, manholes and catch basins shall be channeled as directed. Topa inlets and catch basins shall be adjusted with the final slope of the road surface.
- Proposed spot elevations are dependent on the final elevation of the finish floor of the building(s). Once the floor slabs has been installed, the Contractor shall confirm the elevation. Any discrepancy shall be reported to the project Architect and Engineer to determine if any elevation revisions are required.
- On-site sidewalks are designed to meet current accessibility standards. It is strongly recommended that the Contractor review the proposed sidewalks and construct the work so not to create a "pinch point" with respect to the elevations due to construction tolerances with the final elevations. Note the following information:

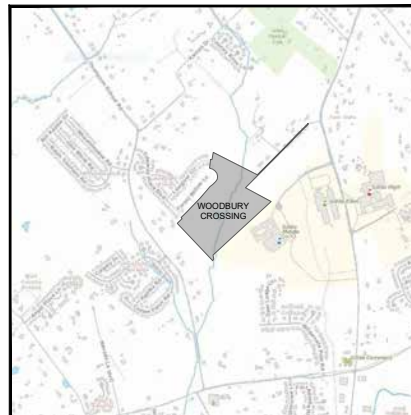
Sidewalks are to have a cross-slope of less than 2%. Lead slope shall not exceed 5% or if it is considered a ramp. Changes in directions shall have an area of 2% or less in all directions wherever possible.

Ramp: A ramp is a section of sidewalk with a lead slope greater than 5% and less than 8.33%. Handrails are required on both sides of ramps with an elevation change of greater than 6". No section of sidewalk shall exceed 5.33%. A ramp may not exceed 30' in length without a landing area.
- Where it is necessary to disturb pavements or drives, the pavement shall be saw cut in neat straight lines. The depth of the saw shall be at least 4 inches. Existing asphalt or concrete shall be replaced to a thickness equal or greater than original. Aggregate base shall be replaced if needed.
- Erosion control measures in accordance with the requirements of the State of Tennessee. The Contractor shall provide sediment control at all points where water leaves the project, including waterways, overland sheet flow and storm sewers. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices. Disturbed areas that remain unworked for 14 days shall be seeded. Other sediment controls that are installed shall be maintained until vegetation growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion but not before the growth of permanent ground cover.
- Contractor shall adhere to all recommendations in the geotechnical report unless directed otherwise in writing by the project Architect or Owner. It is the Contractor's responsibility to assure that proper testing is completed on placed fill, foundation, and trench work, etc. Should the Contractor encounter poor or unknown soils or groundwater, the geo-tech representative shall be consulted. Copies of all testing reports shall be provided to the Owner.
- Submittals shall be provided to the Engineer electronically for review and comment. The Engineer shall respond within 5 business days.
- The Contractor shall maintain a set of as-builts on site. Once the project is complete, the as-built set shall be delivered to the Owner.
- Contractor is responsible for verifying all quantities.



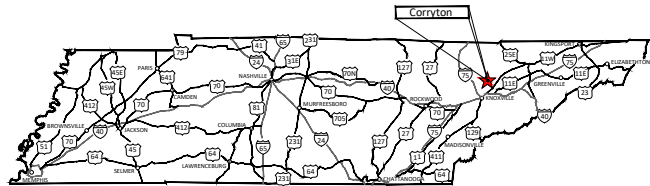
LOCATION MAP

Scale: 1" = 2000'



VICINITY MAP

Scale: 1" = 1000'



State Map

DRAWING INDEX

Sheet CS	Cover Sheet
Sheet C001	Existing Conditions & Demolition Plan
Sheet C100	Overall Site Plan
Sheet C101	Enlarged Site Plan
Sheet C102	Site Details
Sheet C103	Site Details
Sheet C200	Overall Site Grading Plan
Sheet C201	Enlarged Site Grading & Drainage Plan
Sheet C202	Basin Information
Sheet C203	Road Profiles
Sheet C204	Site Profile
Sheet C205	Site Sections
Sheet C300	SWP3 Phase I
Sheet C301	SWP3 Phase II
Sheet C302	SWP3 Phase III
Sheet C303	Erosion & Sedimentation Control Details
Sheet C400	Sanitary Sewer Plan & Profile
Sheet C401	Sanitary Specifications & Details
Sheet C402	Lift Station Details
Sheet C403	Waterline Plan & Profile
Sheet C404	Waterline Plan & Profile
Sheet C405	Waterline Specifications
Sheet C406	Waterline/Force Main Specifications & Details

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

NORTHEAST KNOX UTILITY DISTRICT
Commissioners:
Ann Kozel President
Joe Longmire Vice President
Les Spitzer Secretary

General Manager:
Gregg Morgan

Approved by: _____
Gregg Morgan
General Manager
Northeast Knox Utility District

VARIANCES REQUIRING PLANNING COMMISSION APPROVAL:
a. Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at Sta 0+89
b. Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at Sta 1+48.3

ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING COMMISSION APPROVAL:
a. Reduction of horizontal curve radius on Lawver Circle for 250 feet to 100 feet at Sta 0+26

DATE: _____
REVISIONS: _____
ISSUE: _____

DATE ISSUED: April 20, 2020
DRAWN: DUB/RLR CHECKED: CG

NOTES:

Cover Sheet

CS

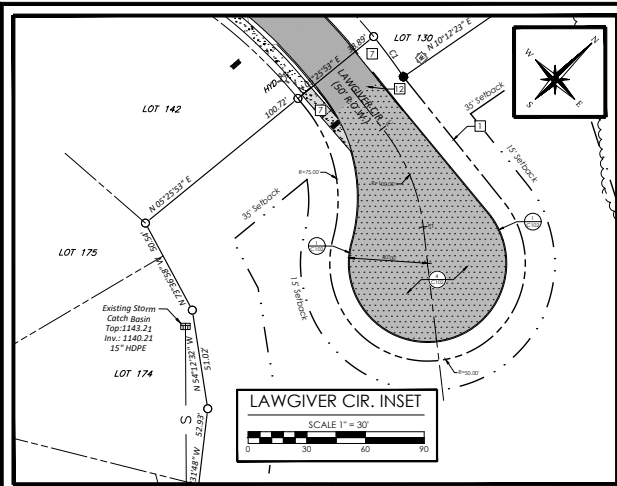


Mapping Notes

Boundary and existing conditions survey provided by:

Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way Ste 101
Knoxville, TN 37920
865.977.8979

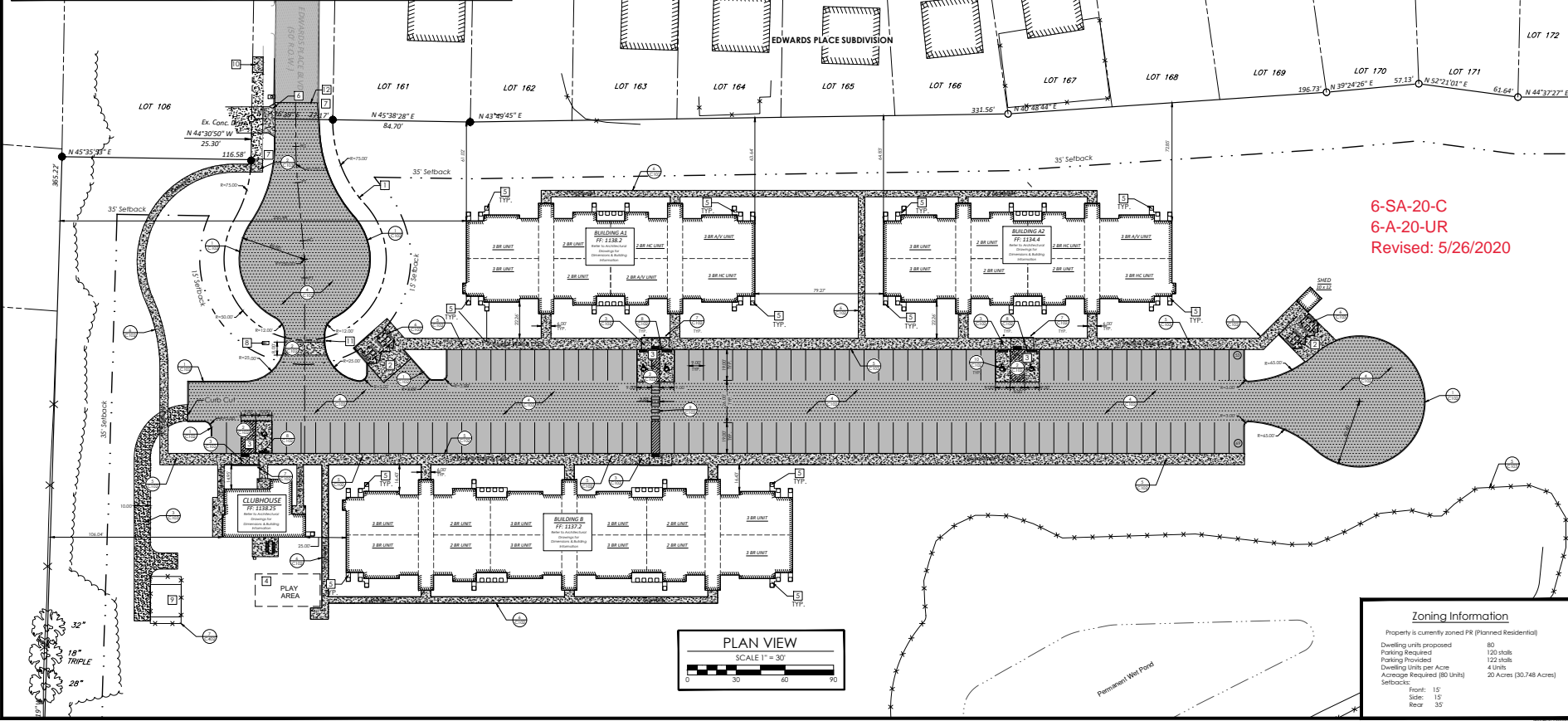
Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.



- ### Details
- Concrete Curb (Typical)
 - Concrete Parking Pad
 - Parallel Handicap Ramp
 - Asphalt Surface
 - Integral Walk & Curb
 - Sidewalk
 - Handicap Parking Signage, Typical
 - Wheel Stop, 1 @ Each HC Stall
 - Crosswalk
 - Handicap Logo, Typical
 - Detectable Warning Surface Detail
 - Expansion Joint Detail
 - Sidewalk
 - Aggregate Pavement Detail
 - Underdrain Seepage Collector
 - Mesh Fence
 - Dumpster Enclosure
 - Chain Link Fence

- ### Coded Notes
- Notes pertain to this sheet only.
- 1 New dedicated Right-of-Way as required per Knoxville-Knox County Subdivision Regulations as specified in Section 3.04(f).
 - 2 Dumpster Enclosure. See Detail 4 Sheet C103.
 - 3 Proposed Play Area. Refer to Architectural Specifications.
 - 4 Handicap parking and aisles not to exceed 2% slope in any direction.
 - 5 HVAC units to be placed on concrete pads per Mechanical Specifications.
 - 6 Existing driveway to be prepared as needed after installing Force Main.
 - 7 New curb to match existing.
 - 8 Project Sign. Refer to Architectural Plans.
 - 9 Lift Station.
 - 10 Stop sign, per Tennessee Department of Transportation Specifications.
 - 11 Sidewalk repair for Force Main.
 - 12 Stop sign, per Tennessee Department of Transportation Specifications.
 - 13 Existing asphalt to be saw cut.

- ### LEGEND
- Property Markers
 - Property Boundary Line
 - Existing Grade Contour (Index)
 - Existing Grade Contour (Intermediate)
 - Existing Grade Spot Elevation
 - Existing Fresh Water Feature
 - Existing Fence
 - Existing Mailbox
 - Existing Utility Pole
 - Existing Guy
 - Existing Gas Utility Feature
 - Existing Overhead Electric
 - Existing Electric Feature
 - Existing Sanitary Sewer
 - Existing Sanitary Manhole
 - Existing Sanitary Lift Station
 - Existing Storm Pipe
 - Proposed Storm Sewer Structures
 - Existing Sign
 - Existing Telephone Box
 - Existing Water Meter
 - Existing Asphalt Surface
 - Existing Concrete Surface
 - Existing Aggregate Surface
 - Proposed Grade Contour (Index)
 - Proposed Grade Contour (Intermediate)
 - Proposed Fence
 - Proposed Grade Spot Elevation
 - Proposed Standard Duty Asphalt Pavement
 - Proposed Heavy Duty Asphalt Pavement
 - Proposed Concrete Surface
 - Proposed Storm Sewer Pipe
 - Proposed Storm Drain Collector
 - Proposed Storm Sewer Structure
 - Proposed Storm Riprap Outlet Protection



Zoning Information

Property is currently zoned PR (Planned Residential)

Dwelling units proposed	80
Parking Required	120 stalls
Parking Provided	122 stalls
Dwelling Units per Acre	4 Units
Acresage Required (80 Units)	20 Acres (20.748 Acres)
Setbacks:	
Front:	15'
Side:	15'
Rear:	35'

171 West Main Street
St. Clairsville, Ohio 45660
Office: 304.845.8480
chadanengineering.com

FOR PERMIT PURPOSES

CLIENT: Woodbury Crossing Limited Partnership
Attn: Corner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE	
REVISIONS	
ISSUE	

DATE ISSUED: April 20, 2020
DRAWN: DUB/RL CHECKED: CG
NOTES:

Enlarged Site Plan

C101

FOR PERMIT PURPOSES

CLIENT: Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

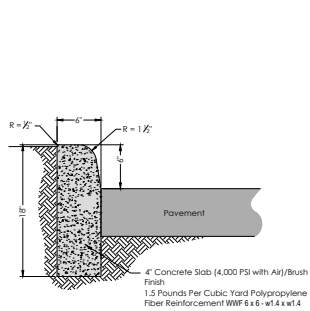
DATE _____
REVISIONS _____
ISSUE _____

DATE ISSUED: April 20, 2020
DRAWN: DUB/RLL CHECKED: CG

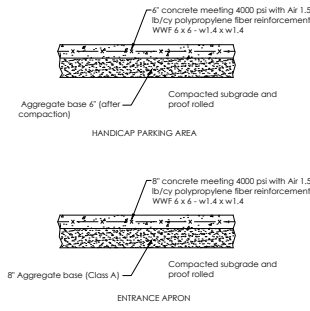
NOTES:

Site Details

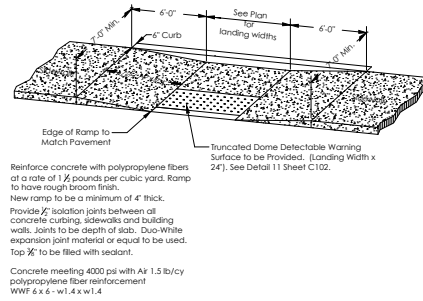
C102



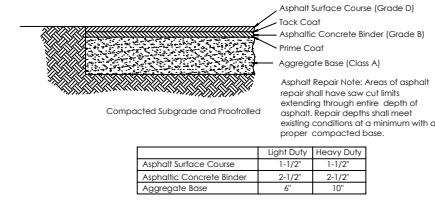
1 CONCRETE CURB
NOT TO SCALE



2 CONCRETE PAVING
NOT TO SCALE



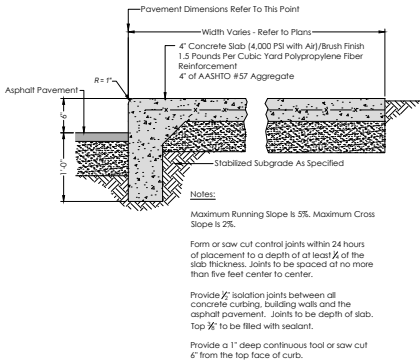
3 PARALLEL HANDICAP RAMP
NOT TO SCALE



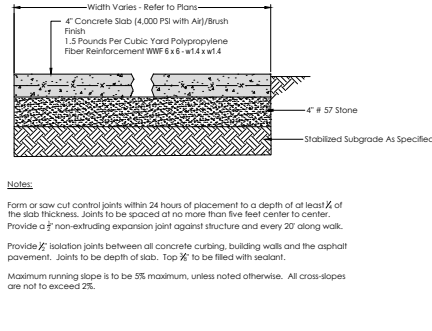
4 ASPHALT SURFACE
NOT TO SCALE

	Light Duty	Heavy Duty
Asphalt Surface Course	1-1/2"	1-1/2"
Asphaltic Concrete Binder	2-1/2"	2-1/2"
Aggregate Base	6"	10"

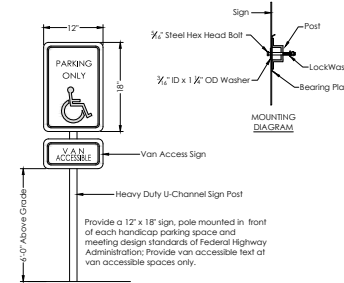
6-SA-20-C
6-A-20-UR
Revised: 5/26/2020



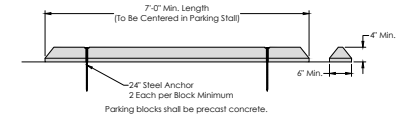
5 INTEGRAL WALK & CURB
NOT TO SCALE



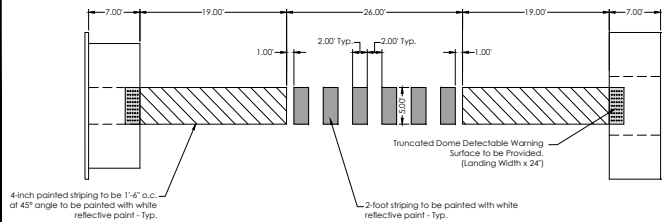
6 SIDEWALK
NOT TO SCALE



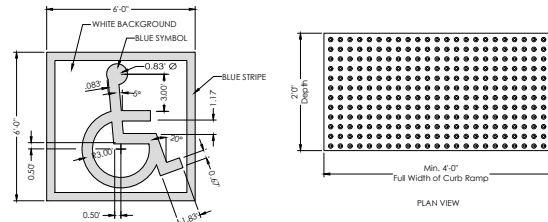
7 HANDICAP PARKING SIGN
NOT TO SCALE



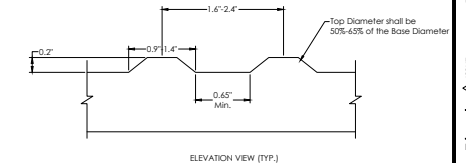
8 WHEEL STOP
NOT TO SCALE



9 CROSSWALK
NOT TO SCALE



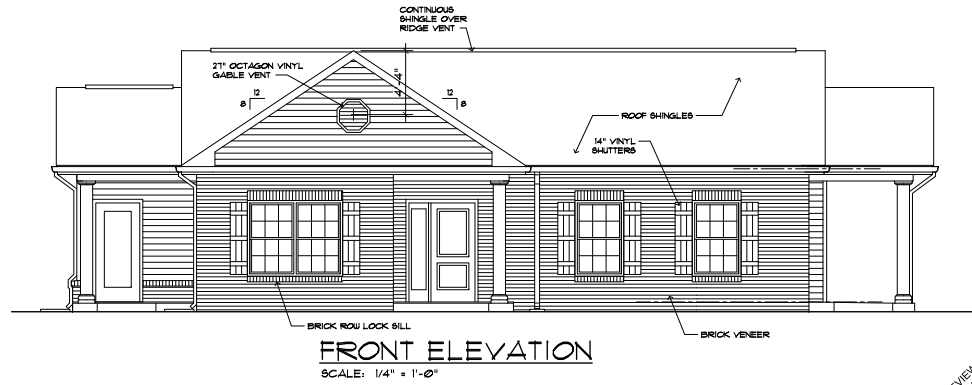
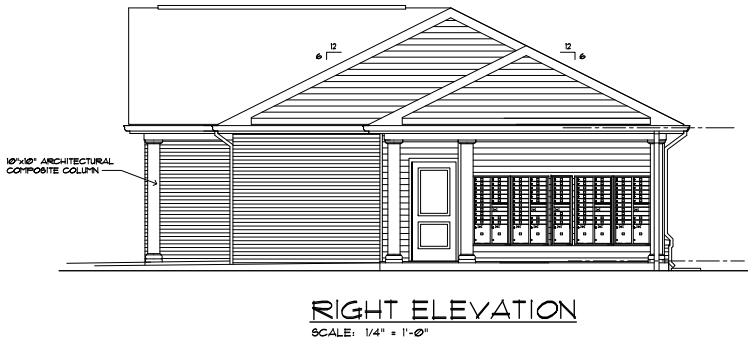
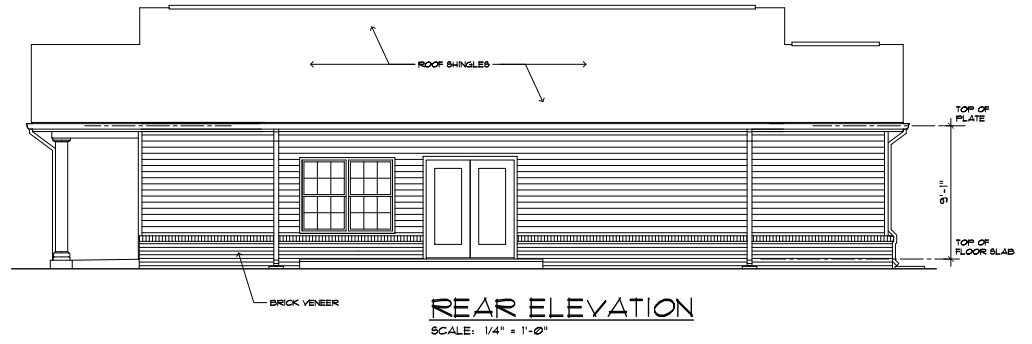
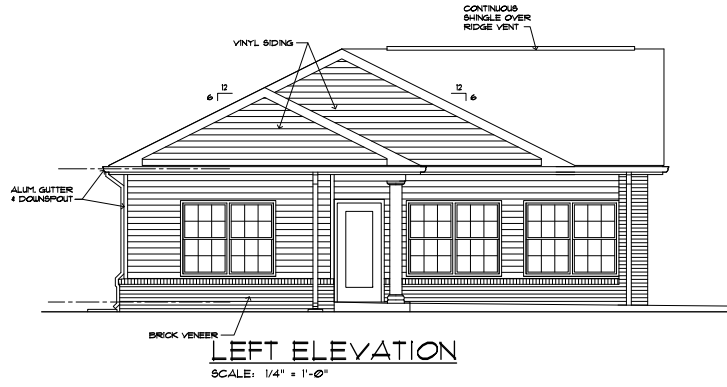
10 HANDI-CAP LOGO
NOT TO SCALE



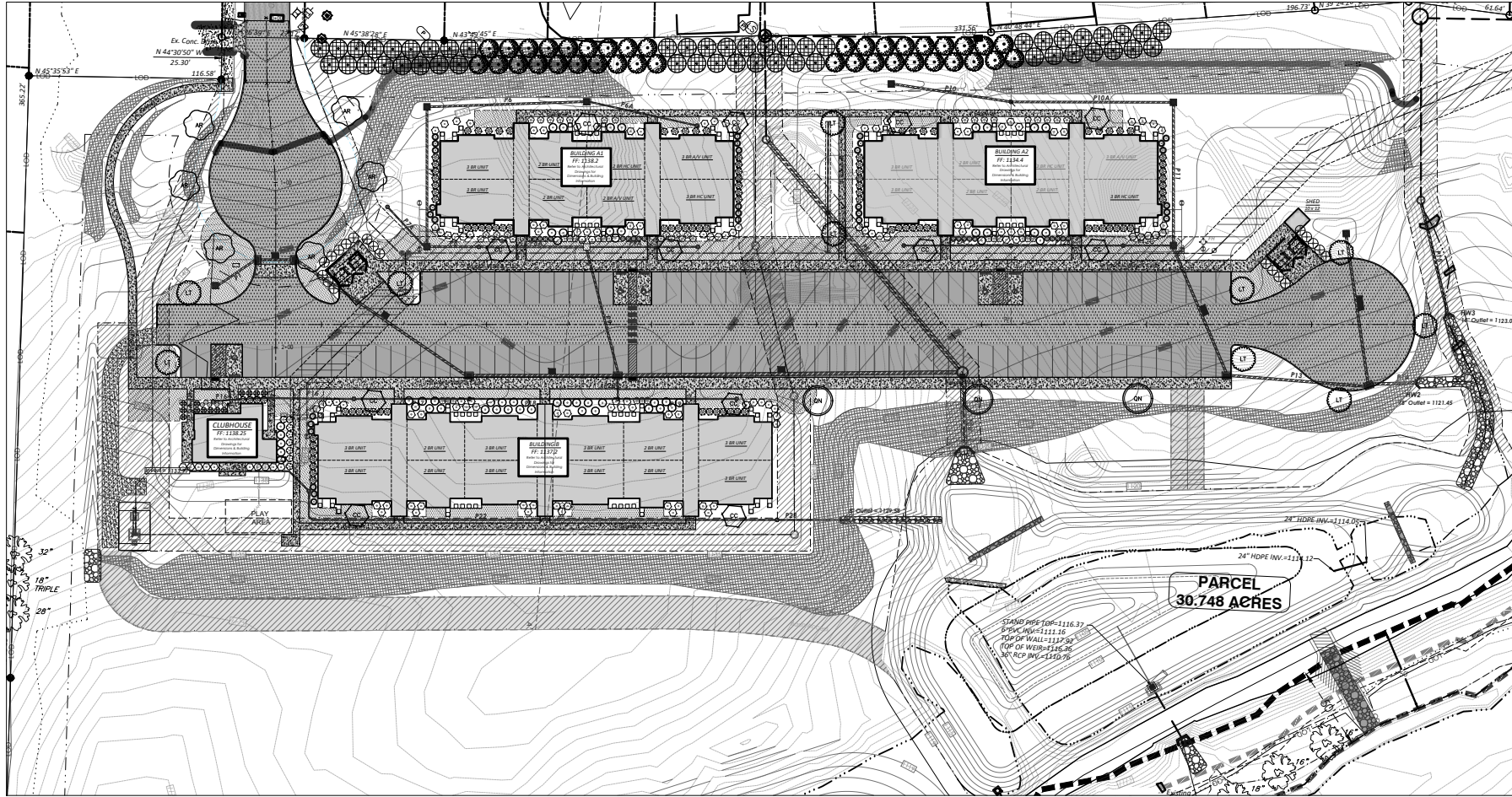
11 DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE

Notes:
The detectable warning surfaces shall be yellow. The color yellow is used because yellow is the last color a visually impaired person can detect prior to total loss of vision. Detectable warning surfaces shall be constructed using products approved on the TDOT QPL No. 37.
The depth of detectable warning surfaces shall be 2 feet in the direction of pedestrian travel. At curb ramps and blended transitions, detectable warning surfaces shall extend the full width of the ramp run (excluding any flared sides), blended transition, or turning space.
The detectable warning surface shall not be extended beyond crosswalk boundaries at locations lacking proper curb height.
See Tennessee Department of Transportation Drawing MM-CR-1.

6-SA-20-C
6-A-20-UR
4/20/2020



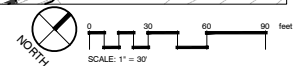
REVIEW SET
NOT FOR CONSTRUCTION



SITE DATA
 ZONING: RESIDENTIAL
 SITE AREA: 30.7 ACRES
 WOODED AREA TO BE PRESERVED: 13.77 ACRES
 DISTURBED AREA: 7.0 ACRES

GENERAL TREE PLANTING REQUIREMENTS	REQUIRED	PROVIDED
8 TREES/ACRE x 7.0 ACRES	56 TREES	56 TREES

PARCEL
30.748 ACRES



PROPOSED SITE FOR:
WOODBURY CROSSING
 KNOXVILLE, TENNESSEE



BY: CD

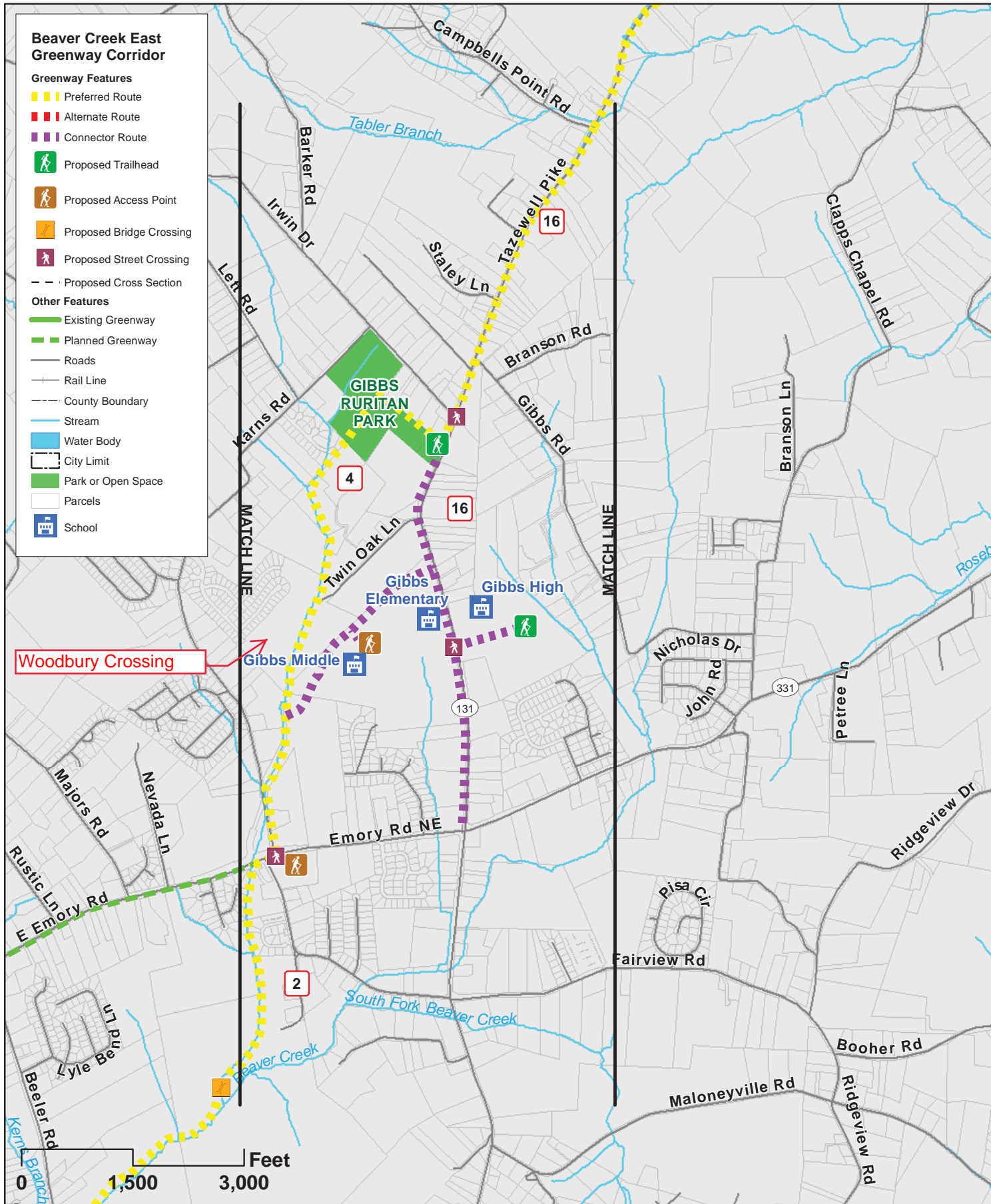
RELEASE DATE: 05/22/2020
 REV: 1

L1.0

LANDSCAPE PLAN

6-SA-20-C
 6-A-20-UR
 Revised: 5/26/2020

Figure 4-3. Beaver Creek East: East of Beeler Road to Campbells Point Road





DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

WC Woodbury Crossing Limited Partnership

Applicant Name

Affiliation

4/20/2020
Date Filed

6/11/2020
Meeting Date (if applicable)

6-A-20-UR
File Number(s)
6-5A-20-C

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
 Owner
 Option Holder
 Project Surveyor
 Engineer
 Architect/Landscape Architect

Charles Garvick

Chadan Engineering, Inc.

Name

Company

PO Box 692

St. Clairsville

Ohio

43950

Address

City

State

Zip

740-449-2194

cmgarvick@chadanengineering.com

Phone

Email

CURRENT PROPERTY INFO

People Bank of the South

PO Box 1221, LaFollette TN 37721

Owner Name (if different)

Owner Address

Owner Phone

7605 Twin Oaks Lane, Corryton, TN 37721

021 00203

Property Address

Parcel ID

SE terminus of Edwards Place Blvd.,
Edwards Place SD, Thompson School Road

SE of Thompson School Rd.

30.748 Acres

General Location

Tract Size

Knox County

gk district

PR (Planned Residential) *< 4 du/ac*

Jurisdiction (specify district above)

- City
 County

Zoning District

Northwest County
Planning Sector

LDR
Sector Plan Land Use Classification

Planned Growth
Growth Policy Plan Designation

Vacant land
Existing Land Use

No

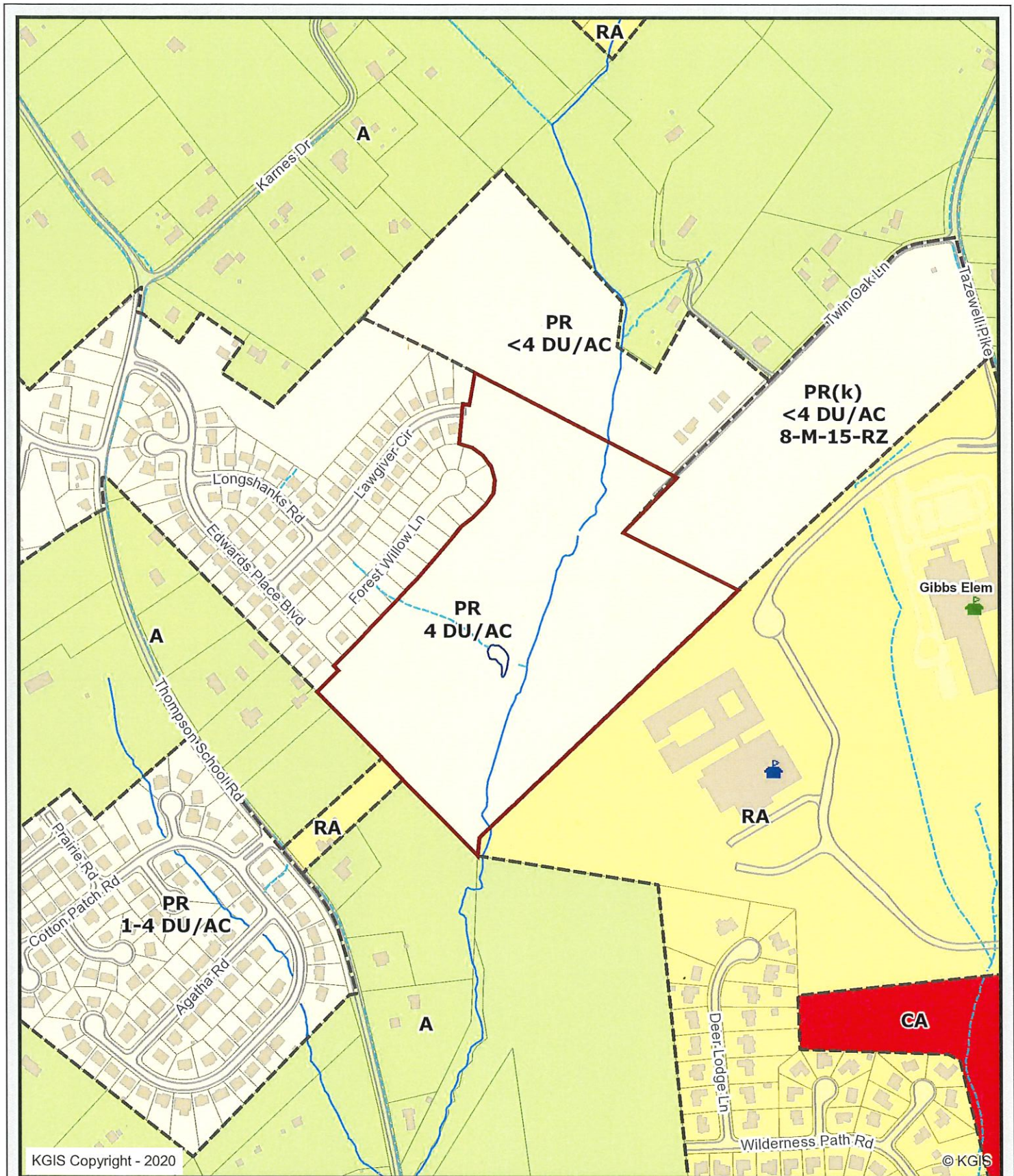
HPUD

NKUD

Septic (Y/N)

Sewer Provider

Water Provider



Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



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